

# CULPEPER COUNTY DESIGN GUIDELINES



Culpeper Courthouse - c. 1870



# Table of Contents

1. BACKGROUND AND PURPOSE OF ARCHITECTURAL REVIEW .....	5
1.1. Scope .....	5
2. SUMMARY OF PROCEDURES AND REQUIREMENTS .....	6
2.1. Projects Subject to Review by the ARB.....	6
2.2. Projects Subject to Administrative Architectural Review Only .....	7
2.3. Obtaining a Certificate of Appropriateness.....	7
2.3.1. Filing an Application for a Certificate of Appropriateness .....	7
2.3.2. Preliminary Conference Review .....	7
2.3.3. Presentation of Full Site Plan to the ARB that meets Design Requirements .....	8
2.3.4. Appeal .....	8
3. DESIGN GUIDELINES-GENERAL .....	9
4. DESIGN GUIDELINES – SPECIFICS.....	14
4.1. Infrastructure .....	14
4.2. Landscaping-General .....	15
4.3. Landscaping – Screening.....	15
4.3.1. Preservation of Natural Vegetation .....	16
4.3.2. Berms .....	16
4.3.3. Suggested Species.....	18
4.4. Fences and Walls.....	19
4.5. Grading .....	20
4.6. Site Layout .....	21
4.6.1. Prohibition along ridgelines.....	21
4.6.2. Unified Entrances .....	21
4.6.2.1. Parking / Building Pad Layout .....	22
4.6.2.2. Parking / Pedestrian Collection .....	25
4.6.2.3. On-Site Utilities .....	28
4.6.2.4. Service areas .....	29
4.7. Signage .....	30
4.8. Lighting.....	32
4.9. Facades / Human Scale .....	35
4.9.1. Curb to Storefront Separation / Human Scale .....	39
4.9.2. Plaza Creation / Human Scale.....	40
4.9.3. Massing / Human Scale.....	41
4.10. Building Specifics.....	42
4.10.1. Doors- Entryways.....	42
4.10.2. Rooflines .....	44
4.10.2.1. Canopies.....	47

4.10.3.	Windows .....	49
4.11.	Industrial Use Structures .....	51
4.12.	Exceptions .....	52
4.12.1.	Franchise Form .....	52
4.12.2.	Sustainable Development .....	53
5.	APPENDIX A .....	54
5.1.	Entrance Corridor Overlay District {Zoning Ordinance 30-2- 4.1}.....	54
5.2.	MAP .....	55
6.	APPENDIX B .....	56
6.1.	Preliminary Conference.....	56
6.2.	Application for Certificate of Appropriateness under ARB review.....	56
6.3.	Application for Certificate of Appropriateness under Administrative Review .....	57
7.	EXEMPTIONS .....	57

## ACKNOWLEDGEMENTS



### Culpeper County Board of Supervisors

William C. Chase, Jr. -Chairman, Stevensburg District  
Larry W. Aylor- Vice Chairman, Cedar Mountain District  
Tom Underwood, Salem District  
Sue D. Hansohn, Catalpa District  
Brad C. Rosenberger, Jefferson, District  
Steve E. Nixon, West Fairfax, District  
Steven L. Walker, East Fairfax District

### Architectural Review Board

G. Russell Aylor, Jr.  
David V. Lowery  
Robert J. Kenefick  
Roger C White  
Sanford Reaves, Jr.  
Lucille K. Price  
Ian M. Phillips, Jr.  
Dewayne Payne, Jr.  
Francis X. Toomey

### Culpeper County Executive

Frank T. Bossio, County Administrator

### Culpeper County Department of Development

John C. Egertson, Planning Director

# **1.BACKGROUND AND PURPOSE OF ARCHITECTURAL REVIEW**

Section 15.2-2306 of the Code of Virginia authorizes localities to regulate the design of development on parcels of land that encompass arterial streets or highways providing access to significant historic areas. Entrance corridors are to be designated by the locality and locally designated Architectural Review Boards may undertake the review of development proposals within such corridors.

On July 1, 2002 the Culpeper County Board of Supervisors adopted Article 30 of Appendix A, within the County Zoning Ordinance. Article 30, titled Entrance Corridor Overlay District, implements the authority described above. It specifically designates a number of entrance corridors, establishes standards for the review of development proposed within the corridors, and creates the Architectural Review Board (ARB). The Board of Supervisors is also authorized to appoint members to the Architectural ARB and charge them with the responsibility of proposing and administering a set of guidelines for development within the designated corridors.

## **1.1.Scope**

This document provides guidelines for establishing, through regulation of architectural design and site layout, that all new development within the entrance corridors exhibit form and style in keeping with the architectural traditions of Culpeper County.

The entrance corridor overlay district is intended to implement the comprehensive plan goal of protecting scenic, historic, architectural and cultural resources. These goals are intended to promote general welfare and protect property values by requiring architecture of good taste, proper proportion, and reasonable harmony with existing structures. The scenic qualities and development levels existing within the viewshed of the Entrance Corridors shall be maintained to the greatest extent possible by requiring site plans that minimize the impact of new development.

*Throughout these Guidelines, reference is made to their implementation by an ARB (Architectural Review Board). Under the provisions of Article 30, the Zoning Administrator also has the authority and duty to enforce these Guidelines. Furthermore, the Culpeper County Planning Commission is authorized to act in the capacity of the ARB if one has not been appointed.*

## **2.SUMMARY OF PROCEDURES AND REQUIREMENTS**

### **2.1.Projects Subject to Review by the ARB**

If a proposed development project has the following characteristics, the Culpeper County ARB must review it:

- **The project is to be located upon a parcel which is within an Entrance Corridor,**

*An entrance corridor includes all parcels that adjoin or are located within five hundred (500) feet of the right-of-way of a County road or highway designated in Section 30-2-4.1 of the Culpeper County Zoning Ordinance as an entrance corridor street. Appendix A contains a list of the current designations.*

**And**

#### **1. Requires a Full Site Plan**

*The project requires County approval of a site plan or of an amendment to an approved site plan before development can begin.*

Generally, commercial, industrial, conditional use, or multi-family development projects are required to have full site plans and therefore will require ARB approval.

*(or)*

#### **2. Requires Special Use Permit**

*The project requires a special permit from the Culpeper County Board of Supervisors because it involves outdoor storage or display within an Entrance Corridor.*

*(or)*

#### **3. Upon Request of the Planning Commission or Board of Supervisors**

*The Culpeper County Board of Supervisors or Planning Commission has requested advice from the ARB before acting upon the proposal. Examples include rezoning applications and amendments to the Comprehensive Plan.*

In the case of reviews under item 1 above, the ARB must issue a *Certificate of Appropriateness* in order for the site plan to receive final approval and for the project to commence. In the case of reviews under items 2 and 3 above, the ARB must make a non-binding recommendation to the Planning Commission or the Board of Supervisors.

## **2.2. Projects Subject to Administrative Architectural Review Only**

- **Projects subject to an Administrative Review only include any project that is to be located upon a parcel which is within an Entrance Corridor, and**
  1. Requires a Minor site plan or a Minor Site Plan modification (see Zoning Ordinance, Appendix A, 20-2 for Site Plan classifications)
  2. Additions or modifications to all existing non-residential and non-agricultural buildings
  3. All new signage or replacement of signage for existing developments. (Free standing and wall mounted).

## **2.3. Obtaining a Certificate of Appropriateness**

### **2.3.1. Filing an Application for a Certificate of Appropriateness**

The developer must submit an application for a Certificate of Appropriateness to the staff of the ARB, which is located within the Culpeper County Department of Development. The ARB meets as needed. In order to be considered at a scheduled meeting the application and supporting documentation should be submitted to the staff at least *two weeks prior* to the meeting. *At present, 2009, the Planning Commission at large serves as the ARB. Therefore the deadline for application is, by default, two weeks prior to regularly scheduled Planning Commission Meetings.* Appendix B lists the items that must be submitted with the application. An application form and further information about the review process can be obtained from ARB staff.

### **2.3.2. Preliminary Conference Review**

Prior to filing an application the developer may first request a preliminary conference with the ARB or ARB appointed staff. Preliminary conference reviews with the ARB should be arranged through the ARB staff. Neither the developer nor the ARB is bound by the results of a preliminary conference review. However, the ARB support staff will provide the developer with a written list of any suggestions discussed during a preliminary conference review. It is anticipated that incorporating these suggestions into a final application will save the developer time and expense. Information required for a preliminary conference review is listed in Appendix B. In cases where only administrative approval is necessary no preliminary conference is required.

### **2.3.3.Presentation of Full Site Plan to the ARB that meets Design Requirements**

State Code enables and County Ordinance now requires that the ARB approve only those proposals that reflect designs which are compatible with historically significant architecture within the County of Culpeper. Proposed designs should not directly replicate existing historic structures in the area. In cases where developers propose “trademark” designs, the ARB will expect significant modifications to these designs before granting approval.

The guidelines that follow are intended to provide a reference point that will assist the applicant in creating proposals that meet the expectations of the Architectural Review Board. This guideline contains photographs of historically significant structures and photographs of modern buildings that are located in Culpeper and Virginia at large which may be used as a baseline in developing acceptable building form. Requirements additional to those found in respective Zoning Ordinance sections pertaining to lighting, signage, landscaping and site layout are intended to minimize negative impacts and enhance the scenic nature of the Entrance Corridors.

### **2.3.4.Appeal**

Any person aggrieved by any decision of the Architectural Review Board in the administration of (Article 30) may demand a review of the application by the Board of Supervisors. Such demand shall be made by filing a request therefore in writing with the clerk of the Board of Supervisors within ten calendar days of the date of such decision. Prior to the Board consideration, the Planning Commission shall review the grievance and make a recommendation. The Board of Supervisors may affirm, reverse or modify, in whole or in part, the decision of the Architectural Review Board. In so doing, the Board of Supervisors shall give due consideration to the recommendation of the Architectural Review Board and the Planning Commission together with such other evidence as it deems necessary for a proper review of the application.

Any person or persons jointly or severally aggrieved by any decision of the Board of Supervisors may appeal such decision to the Circuit Court of the County for review by filing a petition at law, setting forth the alleged illegality of the action of the Board of Supervisors, provided such petition is filed within thirty days after the final decision is rendered by the Board of Supervisors.

There is no impetus for appeal in cases of special use permits, rezonings, Comprehensive Plan amendments, and preliminary conferences by virtue of the fact that the recommendations of the ARB in these cases are not binding with respect to final decisions made by the Culpeper County Board of Supervisors.

### **3. DESIGN GUIDELINES-GENERAL**

As commercial development commences within the Entrance Corridor Overlay, primary consideration shall be given to the character of immediate adjacent properties in developing new styles which maintain continuity of architectural form. Sites that lie within areas defined by the Culpeper County Comprehensive Plan as Village Centers shall be required to conduct an inventory of significant historical structures as a precursor to submission. This architectural inventory will in turn serve as a baseline when developing the style of a given project.

New structures should exhibit continuity with existing period architecture, but should not attempt to be precise period replicas. A modern composite form using architectural elements ranging from dormer windows to Doric columns may be used to express continuity in keeping with historic architectural vernaculars found within Culpeper. In instances where the adjacent properties to a given site are of a natural state or under cultivation, priority should be given to preserving the viewshed and minimizing the visual impact of new development. This may be achieved through the use of landscaped berms at the site perimeter and unified landscaped entrances where multiple structures are planned. The overarching goal is the development of new commercial and industrial sites that meet modern code requirements and private corporate needs while remaining true to the historic architectural vernacular of Virginia.



Example of a new structure that successfully creates a composite style in keeping with the architectural vernacular of Virginia at large.



Specific styles found within Culpeper County range from Early Colonial to Federal, Jeffersonian, Greek Revival, Gothic Revival and Italianate. These formally defined architectural styles contain specific definable elements that shall be used to create a lexicon or baseline for the creation of a new and often composite style herein presumed desirable for Culpeper County in the years to come. It should also be noted that various “folk” styles or forms are present within the County. These include a myriad of structures ranging from barns to country stores. These more rural forms may be emulated as well when creating new architecture within the Entrance Corridor. In general, we seek to promote development which exhibits the qualities of craftsmanship and material durability while staying focused on the stated goals within Article 30-1 of the Culpeper County Zoning Ordinance.



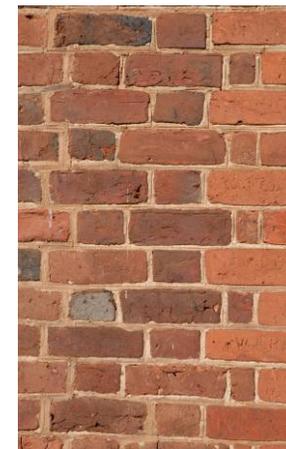
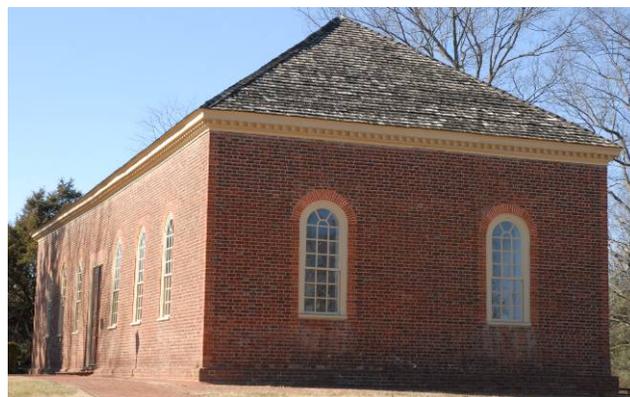
Wren Building (1695) Williamsburg, VA

Early Colonial Architecture



St. Luke's Church (1632) Smithfield, VA

**Little Fork Church-Culpeper, VA c-1774 (Colonial)**



Use of Palladian windows, hip roof design, a band of dentils on the cornice and Flemish bond brickwork combine to compliment the colonial form. These features are prime examples of design elements that should be emulated in the creation of new composite architecture.



Greenville-c.1847 (Greek Revival)



Salubria-c.1743 (Georgian)



Elmwood- c.1870 (Italianate)



Stevens Masonic Lodge  
c.1884 (Gothic Revival)



Maple Springs-c.1815 (Folk Vernacular)



a



b



c



d



e



f

Various "folk" forms that range from converted gas stations and train stations (a & b) to traditional style country stores (c, d & e) have the front porch as a common architectural feature. This common feature can serve as one example of a unifying architectural theme bridging Culpeper's rural heritage with a new commercial structure seen in photograph (f).

Existing architectural forms on adjacent parcels or on the same site should be emulated. The barn form, as seen below, is being used as an architectural baseline for this institutional use.



## **4. DESIGN GUIDELINES – SPECIFICS**

### **4.1. Infrastructure**

The arterial roadways that make up the Entrance Corridors themselves constitute an asset to the citizens of Culpeper County beyond their functional capacity. These roadways should be viewed as an asset to be protected and enhanced. Plans for upgrades to the existing infrastructure within the Entrance Corridors shall include provisions that go beyond strictly utilitarian functionality and address the architectural appearance of such structures.

- Roadway features, including but not limited to, bridges, overpasses, abutments and roadway safety features shall receive treatments or be of such materials to reflect and compliment the historic and scenic nature of the County of Culpeper.
- All new utility lines or upgrades to existing utility lines within the Entrance Corridor shall be buried unless undue hardship can be demonstrated by the applicant.

The recently completed (2001) bridge over the Rappahannock River at Kelly's Ford incorporates the use of stamped concrete as a façade treatment. This technique is one of many that may be utilized to achieve the goal of presenting a style in harmony with the historic nature of Culpeper County while adhering to modern VDOT design standards.



## **4.2.Landscaping-General**

*Screening and Landscaping requirements are established and set forth in the Culpeper County Code, Appendix A, Article 33.*

*Standards delineated in the following section may be interpreted with some flexibility by the Zoning Administrator.*

- Landscaping should be used to help define outdoor spaces, soften a structure’s appearance, and to screen parking, loading, storage, and equipment areas.
- Proposed landscaping should relate to the scale of the structures on the site and should be compatible with the character and scale of adjacent landscaping that complies with the provisions of this section and Article 33 of the Culpeper Zoning Ordinance.
- Landscape design should accent the overall design theme through the use of arbors, trellises, hanging baskets, and other elements that may be appropriate to the particular architectural theme of the project.
- Landscape design should reflect a variety of deciduous and evergreen trees, shrubs, perennials and groundcovers. Plant materials should be selected for their structure, texture, color, ultimate growth characteristics, and sense of unity with their surroundings.
- Lawn areas should be kept to a minimum in projects surrounded by native vegetation. The utilization of drought tolerant grasses and vegetation is encouraged.
- Landscape areas should be provided in plazas, malls, and areas of frequent pedestrian use. Plazas should be designed and planted to reflect an informal place suited to a pedestrian scale.

## **4.3.Landscaping – Screening**

Considering that the nature of the majority of the Entrance Corridors exist as forested or open agricultural land, development itself poses a change to existing conditions. With the goal of viewshed preservation in mind, the following are techniques to minimize overall visual impacts of new commercial development.

*Additional screening to that required under Article 33 of the Culpeper County Zoning Ordinance may be required by the ARB. Such screening should be of mixed species and of sufficient depth to protect the nature of the viewshed or to effectively separate dissimilar uses. Deviations to allow for less intensive or more intensive screening shall be considered on a case by case basis. . Particular attention and consideration shall be given with respect to screening and the appearance of upgrades to infrastructure that lie within Village Centers as defined within the Culpeper county Comprehensive Plan.*

### **4.3.1.Preservation of Natural Vegetation**

- Respect natural site conditions and natural drainage systems when siting structures, entry-ways and parking.
- Design structures around mature trees and integrate with existing vegetation.
- Remove only the minimum vegetation necessary for grading and construction.
- Protect existing trees and vegetation during site preparation and construction. (per “Virginia Erosion and Sediment Control Handbook” , Third Edition, 1992, Virginia Department of Conservation and Recreation)

### **4.3.2.Berms**

- All berms must be landscaped to augment the screening effect. Said landscaping shall be composed of various species including a mix of deciduous and evergreen species.
- Berms shall be utilized to break up the visibility of large areas of parking from the roadway.
- Berms shall be utilized to create separation from dissimilar adjacent uses and in instances where a more intensive “change of use” is proposed for an existing structure or site.
- There shall be provisions for ongoing maintenance of vegetation located on berms in accordance with Article 33-11 of the Culpeper County Zoning Ordinance.
- Berm height shall be measured from the grade of the centerline of the given road named in the Entrance Corridor Overlay.
  - Berms shall be a minimum of three feet height from said grade.
  - The ARB shall have discretion to require berms above the minimum height where deemed necessary to achieve appropriate separation or screening effects.
  - Linear berms shall be constructed with a slope no greater than 2:1 and at least a two foot wide flat area on the top.
  - Non-linear or undulating berms may be utilized.
  - Where horizontal space is limited, the use of retaining walls to one side of the berm may be utilized to acquire the requisite height.



Mixed Plantings on berms separating unified shopping center from roadway.



Where space within a given site allows, variable topography or undulating berms create visual interest as opposed to straight line earthworks.

### 4.3.3.Suggested Species

- Use of native plant species is encouraged for sites within the corridor. Native species create continuity with respect to the stated goal of protecting the county’s natural resources. Practically speaking, native species may be more resistant to local pests and plant disease thereby adding to ease of future maintenance and or replacement under Article 33-11. As an example, the use of White Pine trees for purposes of exterior screening is encouraged in lieu of Leyland Cyprus trees due to their resistance to “bagworms” which can easily decimate an entire screen in one or two seasons if left untreated.

***For a list of species that are suitable, please refer to the documents referenced in Article 33 of the Zoning Ordinance.***

- Landscaping that requires minimal upkeep after initial installation is strongly encouraged.



Mulched parking islands planted with low maintenance species that are spreading perennials reduce the need for mowing on site.

## 4.4.Fences and Walls

- The design of fences and walls should harmonize with the site and with the buildings in both scale and materials. The placement of walls and fences should respect existing land forms and contours rather than arbitrarily following site boundary lines. Fencing should not dominate the buildings or the landscape. Plantings may often be integrated with fencing schemes to soften visual impact.
- The design of fences and walls should facilitate the migration and movement of wildlife, with attention given to deer migration routes in relation to highway traffic safety..
- Decorative fencing shall be in keeping with the overall architectural style of a given development.
- Non-coated chain link fencing materials are generally prohibited.
- Privacy fencing may be utilized to achieve adequate screening from dissimilar uses. Provisions for maintenance of said fencing shall be addressed.
- Privacy fencing shall be in accordance with Zoning Ordinance, Article 9-3-7.2, and limited to a height along the sides and rear property lines of seven feet. Taller fences are allowable within or on the building restriction setback line as defined by underlying zoning districts.
- Functional retaining walls must have an overall appearance in keeping with the associated development project.



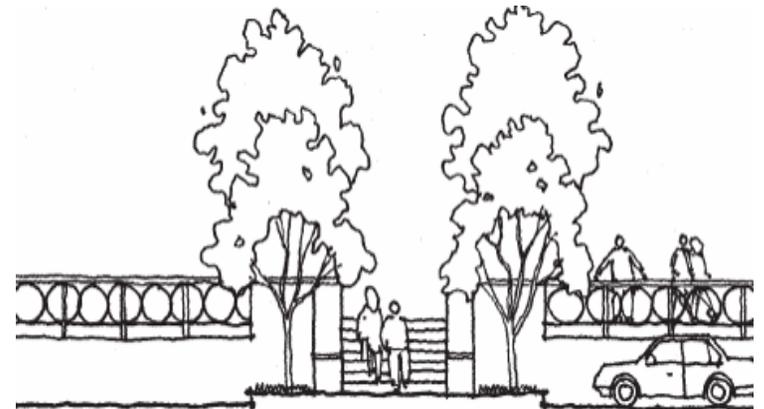
Example of decorative board fence utilizing masonry columns to create a substantive feel.

## 4.5. Grading

Site development may require cutting new roads, driveways and foundations into relatively steep slopes. While basic engineering concerns are major issues in these cases, the visual impacts of the cuts that result are of concern as well. To the greatest extent possible, cutting-and-filling of sloping areas should be avoided; but where it must occur, the visual impacts should be minimized. Grading practices should minimize the distortion of the natural topography and enhance the aesthetics of the project. Site conditions may dictate building pad sites significantly higher or lower than the street grade; in these instances landscaped slopes should be utilized to lessen the impacts of development.



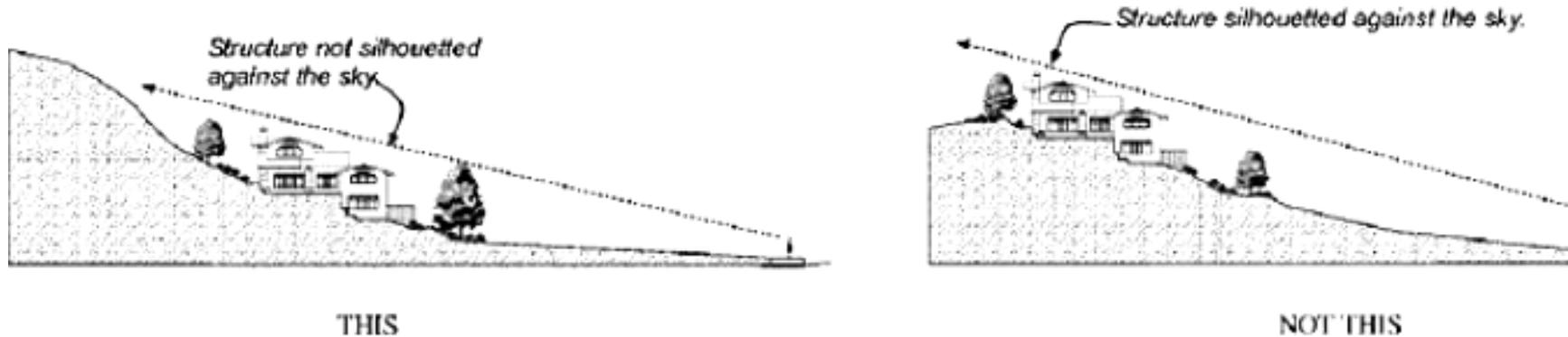
Grade breaks may be used as buffers (left), but may also be utilized in creating interest and pedestrian access to the site.



## 4.6. Site Layout

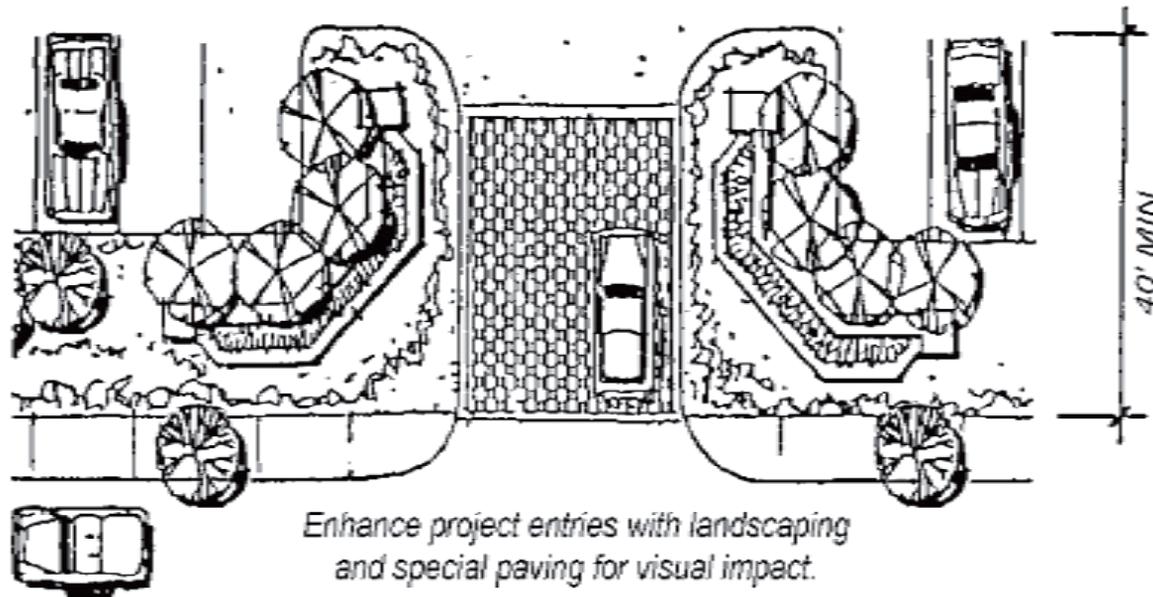
### 4.6.1. Prohibition along ridgelines

Natural ridgelines and mountain views should be preserved to the greatest extent possible. Structures should not be situated so they appear silhouetted against the sky from any corridor street centerline view point.



### 4.6.2. Unified Entrances

In instances where multiple structures are proposed, access through a unified entrance minimizes traffic safety issues and enhances aesthetic appeal. The visual impact of expanses of parking is also mitigated when used in conjunction with landscaped perimeter berms.





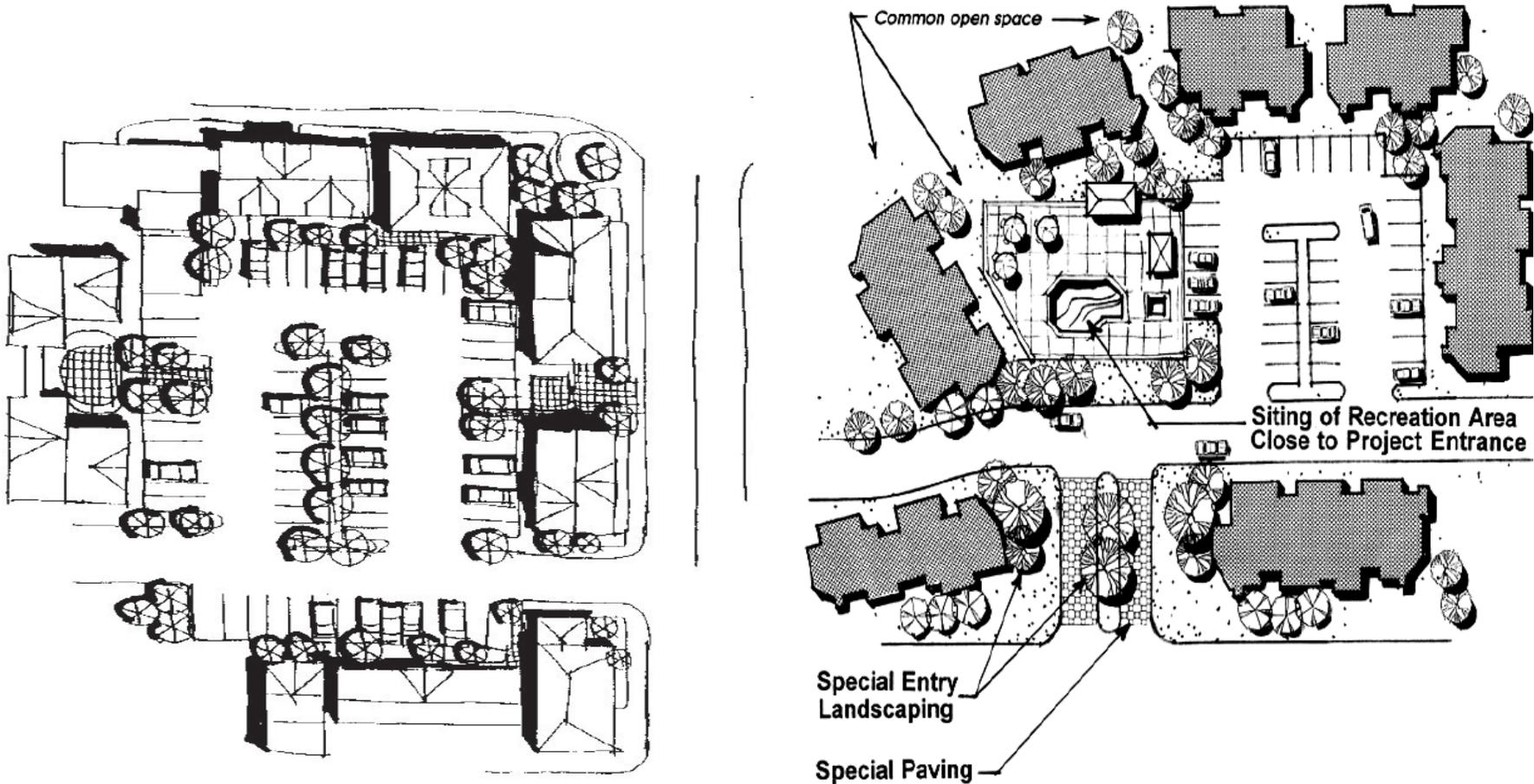
Landscaped unified entrance  
with center island.

- Primary project entries should be designed as special statements reflective of the character of project. The goal should be to establish a distinctive and inviting image for the project.

#### **4.6.2.1. Parking / Building Pad Layout**

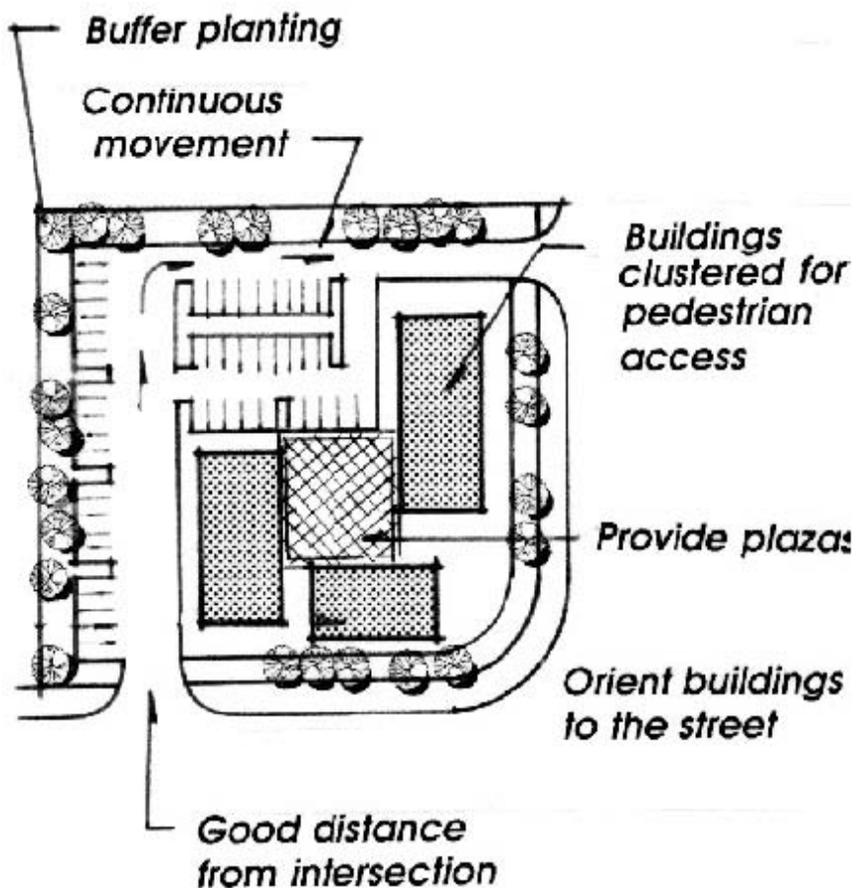
- All requirements set forth in *Article 10 (Access, Circulation, Parking and Loading)* shall be adhered to.
- Aside from concerns for traffic safety and efficiency, the design of parking lots should be driven from the standpoint of their visual impact. Projects should be laid out so that parking lots are not the dominant feature of the development.
- Non-residential projects are required to provide cross-access to adjacent non-residential properties for convenience, safety and efficient circulation.

- Parking lots should be designed with a hierarchy of circulation: major access drives with no parking; major circulation drives with little or no parking; and then parking aisles for direct access to parking spaces. Small projects may need to combine these components.
- Parking lots should be broken up into segments by landscaping, access driveways, or structures to avoid large unbroken expanses of paved area.

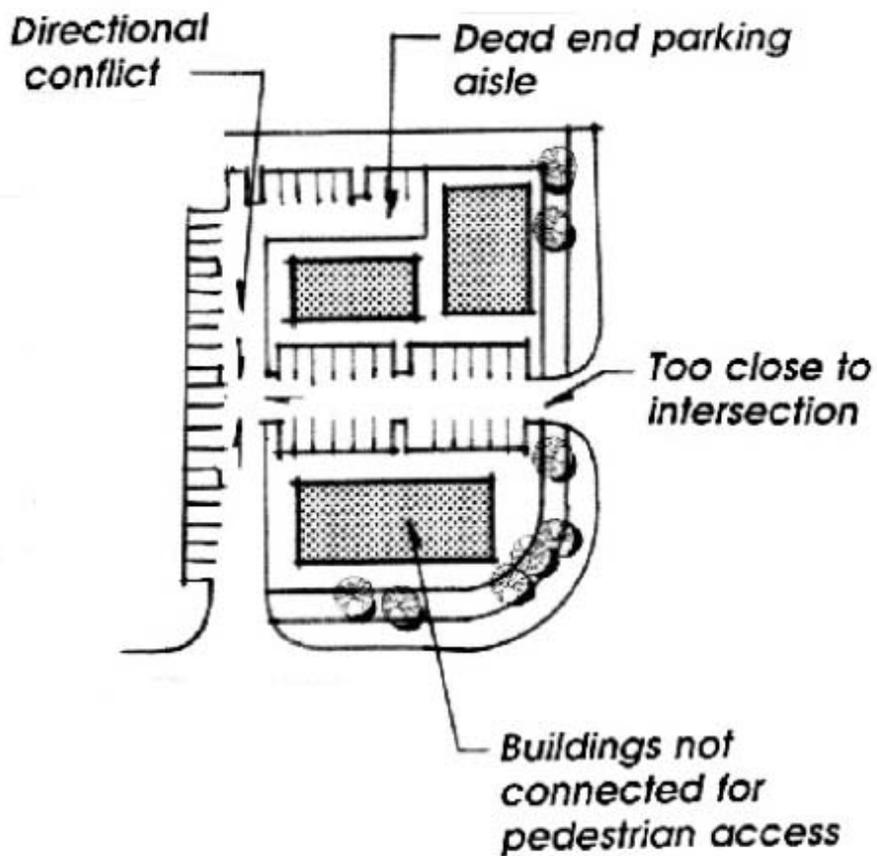


Examples of parking configurations shielded from street via multiple storefronts.

*Encouraged*

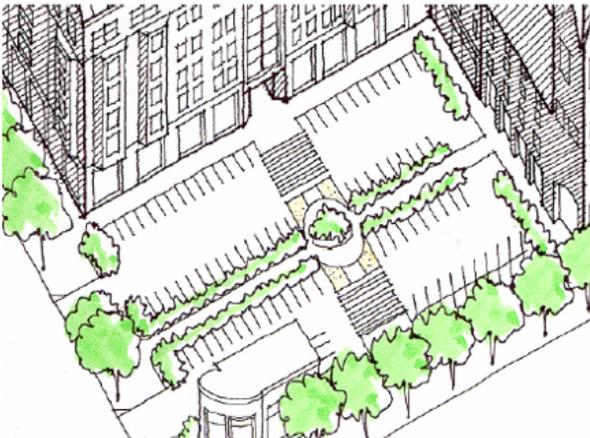


*Discouraged*

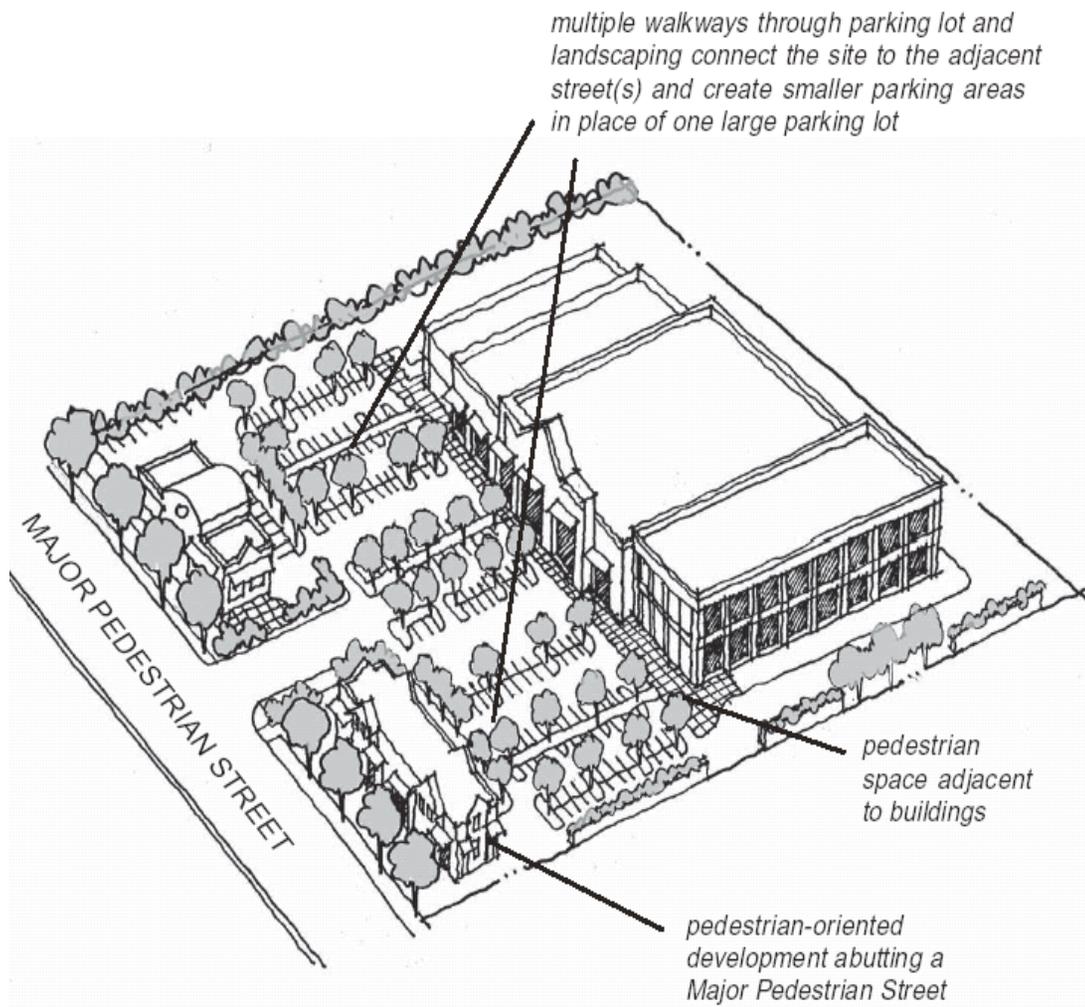


## 4.6.2.2. Parking / Pedestrian Collection

- Projects should include a system of pedestrian walkways that interconnect business entries with each other and with parking areas. Walkways should connect individual structures within a development directly without forcing pedestrians to mix with vehicular traffic.
- Where pedestrians mix with traffic, parking lots should be designed so that pedestrians walk parallel to moving cars. This will minimize the need for pedestrians to cross parking aisles and landscaped areas.
- Walkway layout should anticipate pedestrian's desired movements and should provide direct routes whenever feasible. Sidewalks should not be used for storage areas. Meandering sidewalks, while encouraged, should contain only shallow curves to avoid frustrating pedestrians with unnecessary detours.
- Walkways should be well-marked by various means, such as lighting, distinctive paving, and landscaping. Where feasible, trellises, arbors, arcades, or similar features should be used to cover walkways. Where textured paving is used, it should not be so rough or irregular as to make walking difficult, snow and ice removal difficult, or discourage the use of baby strollers or wheelchairs.
- Where walkways exceed two hundred feet in length, seating in the form of bench(es) is encouraged at the midpoint or adjacent to handicap parking spaces to accommodate pedestrians and promote a more human scale. (p.27)



Example of parking lot layout with clearly defined pedestrian walkways on grid pattern.



A crosswalk utilizing distinctive brick pavers.



- A decorative brick wall and sitting area creates separation and interest between parking area and sidewalk (left).
- Bench at enlarged area in sidewalk at a midpoint on a pedestrian collector / building connector (bottom left).
- Embellished cart return canopy matches overall theme of site and creates visual interest (below).



### 4.6.2.3. On-Site Utilities

- All new utility lines shall be underground.
- Connections to structures shall be generally shielded from view. Means of shielding should be in keeping with overall design motifs of the associated building (below).



#### 4.6.2.4. Service areas

Refuse Collection and services areas shall be shielded from public view. These areas should be designed to be an integral part of the building architecture. The forms, colors, textures and materials used on the main building should be applied to all sides of these structures generally visible to the public.



## 4.7. Signage

Signage is one of the most visible components for the projection and sophistication of the image of a business or shopping center and is on par with the architectural form itself.

- Signs should be designed that are appropriate for the scale and character of a given project. Materials used should reflect the character and use of the building it identifies.
- Prohibitions:
  - Signs exceeding eight feet in height. (Sign height should be geared towards vehicular traffic and those pedestrians in the immediate vicinity )
  - New billboards, pole signs.
  - Signs exhibiting gaudy or sharply contrasting color schemes or highly reflective materials.
  - Neon, flashing and all forms of L.E.D. signage.
  - Large windows with interior illumination upon interior walls acting effectively as signage during evening hours.
- Signs integrated into the design of the building are encouraged as in the example below, where the sign is located within a “signband” segment of the frieze.



- Signs should add interest to the street level environment and help unify the overall architectural concept of the associated buildings. Integration with the overall architectural expression of a building and appropriate scale and orientation are important design considerations. Franchises shall not be given exceptions to these considerations. Acceptable examples of modifications include those made by fast food and grocery store chains as seen below.



Freestanding monument signs should exhibit a continuity of style with the architecture of the development which it serves. These monument signs may be internally lit and must have a masonry base.



Franchise iconography is permitted within the monument sign format.



The stone base of this non-illuminated sign also serves as a planter.



Signs identifying unified commercial developments must also adhere to design standards and height restrictions.

## 4.8. Lighting

- All lighting shall be in conformance with standards set forth in Article 32 of the Culpeper County Zoning Ordinance.
- A photometric plan showing predicted maintained lighting levels produced by proposed fixtures will be required with the preliminary site plan submission.
- All lights must be downwardly shielded to reduce adverse effects of glare on adjacent properties.
- Lighting schemes should be adequate to promote security and public safety.
- Provisions within lighting schemes should include plans for light reduction after hours. The ability for complete shut-off or the dimming of fixtures in non-critical areas of a site promotes efficient use of power and further reduces light pollution.



Embellished or stylized fixtures that are down-turned and shielded as seen above are strongly encouraged.

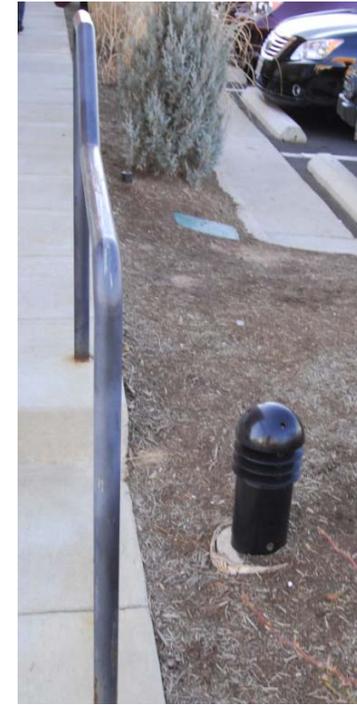


Fixtures without embellishment (left) are appropriate at inconspicuous locations such as loading and utility areas. While stylized down-turned forms are encouraged (right), simple non-embellished forms may be used in groups to accomplish effective and appropriate façade treatments. (below)





The goal of reducing off-site glare may be addressed by lowering the height of fixtures. Examples include shorter lamp posts where logistically possible (left), or ground level walkway lighting (right).



Exceptions to the downward shielding rule may be granted in cases where fixtures are used to create a focal point or to accent a façade in keeping with an overall architectural theme. In these instances the decorative lights shall be of significantly lower light intensity.

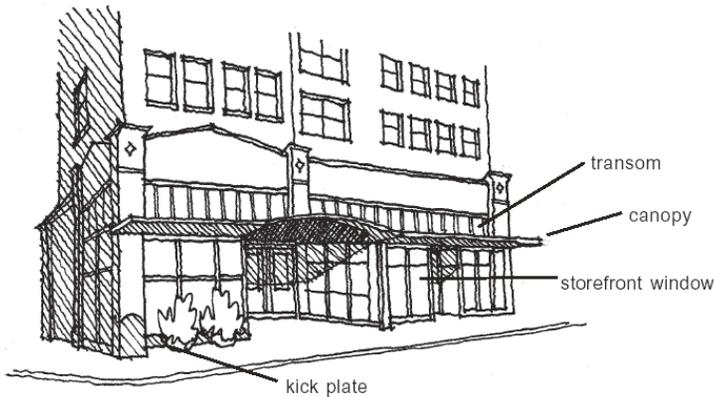


## 4.9.Facades / Human Scale

Architectural forms permitted within the Entrance Corridor Overlay may range in styles drawn from various schools of architecture found in Virginia. All new structures must exhibit their potential for long term durability through craftsmanship and use of quality materials. In addition to these concerns, designers must address the issue of creating an inviting sense of place, or “human scale”.

- Building Facades should be compatible in scale, mass and form with adjacent buildings and the area at large.
- Heavy appearing materials shall be used only below lighter appearing materials.
- Brick, stone, split-face block, tinted glass, and true clapboard wood siding is encouraged for use on building facades. Use of vinyl siding and corrugated metal sheathing is strongly discouraged.
- All vents, gutters and downspouts should be internalized until reaching grade at discharge. If this is not viable within the design of the structure, downspouts should be painted to match the color of the adjacent surface.
- Exterior building materials should be utilized in promotion of “human scale”. Non-modular exterior materials such as stucco and concrete panels must have details added to reduce the overall bulk of the structure.
- Building forms and elevations should be articulated in order to create interesting roof lines, building shapes, and patterns of shade and shadow, and to avoid box-like structures with large flat wall planes.
- The ground level of buildings must offer pedestrian interest along sidewalks. Overhead “blade signs”, canopies for weather protection and ornamentation are encouraged.

Various elements used on the facades of buildings create a human scale otherwise void on larger blank structures without such embellishments.



The use of stone at the base and colorful decorative brickwork on the façade of the building, (left) effectively achieves this objective.



Distinct zones created by using “heavier” materials at the base are reinforced by use of canopies and diminishing window size in relation to height from ground elevation (a & b). Walls devoid of fenestration must employ techniques using decorative materials to achieve the goal of a broken, human scale façade ( c ). Stand alone buildings must avoid large unbroken planes. A stair-stepping away from the frontage street achieves this goal as seen in example (d).



Multiple buildings on the same site should be designed to create a cohesive visual relationship. The use of architectural focal points and terminal features where multiple storefronts share the same façade effectively address the need to break up long wall planes and create a sense of unity without monotony.



An otherwise plain cornice is embellished by the cupola with a bank of windows. (left center) In order to facilitate interest these windows may be illuminated at night provided there would be no illumination of advertising or signage on the interior walls.

The design elements found on this stand alone structure (right) includes a course of stone at its base, repeating articulated lintel windows and two story main entry focal point. These treatments effectively create a human scale for this otherwise plain rectangular structure.





The rear of buildings must also receive similar, albeit diminished, treatments as with the front of the structure.



Security features, such as the bollard barrier shown to the right, must also adhere to a unified theme established by the main structure.

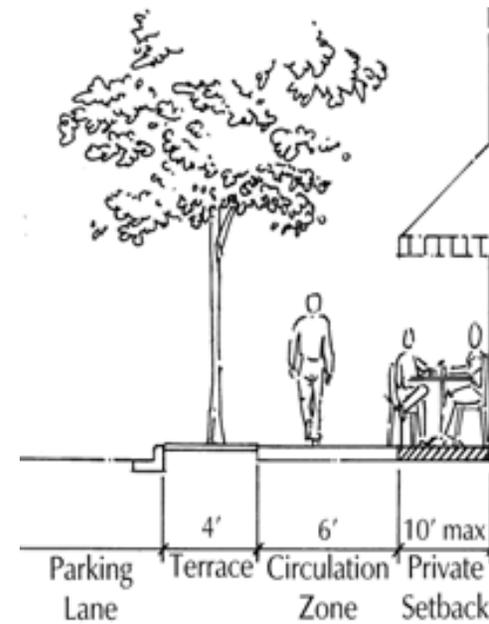


Mechanical apparatus located on the roof of structures must be shielded from view or housed in accessory structures that are in keeping with the style of the primary structure.

## 4.9.1. Curb to Storefront Separation / Human Scale



Increased building setbacks from parking areas provide necessary space for outdoor cafes, benches and landscaping. The ground level of the building must provide for pedestrian interest and comfort along sidewalks.



Where minimum suggested setback distances cannot be met, interior porticos or veranda style walkways that serve as architectural embellishment and effective pedestrian circulation areas should be employed.

## 4.9.2.Plaza Creation / Human Scale

- Useable pedestrian space designed for public use near entrances is strongly encouraged at institutional buildings (a) and within sites that contain multiple buildings.( b & c)



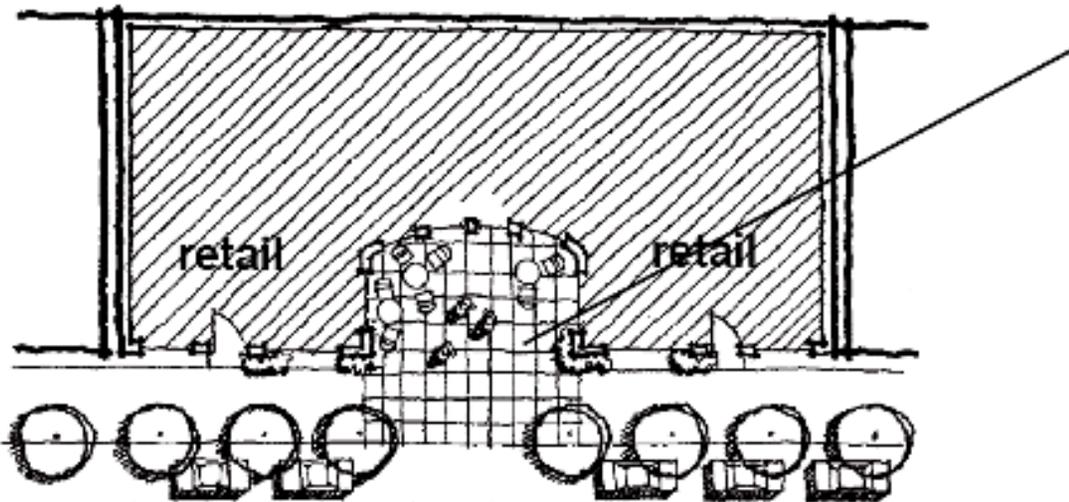
a



b



c



*Design for uses that are accessible to the general public, generate walk-in business and contribute to a high level of pedestrian activity at street level. Consider extending street-level spaces out to the sidewalk with multiple entrances and open spaces featuring decorative paving, street furniture and artwork. Retail uses should front such spaces.*

### 4.9.3. Massing / Human Scale

- **Prohibition against “Big Box” form**

The economy associated with “Big box” building design is an undeniable reality. This architectural form tends to convey a general blankness in form. Use of various techniques can mitigate this negative effect.



In the above example, many techniques are shown. The hipped roof and use of various materials of different texture and weight coupled with a stylized entrance canopy effectively create a human scale for this basically rectangular box structure.



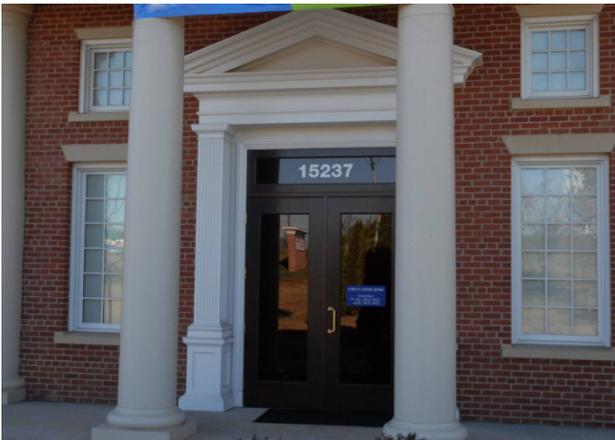
Covered arcades and entry vestibules are effective in breaking up building mass and contribute to affecting a human scale in relation to the facades of large and otherwise square buildings. The use of smaller in-fill frontage buildings that are connected to the larger mass of a structure can also be an effective technique in mitigating an otherwise overwhelming façade.

## 4.10. Building Specifics

### 4.10.1. Doors- Entryways



All entryways must, at a minimum, be covered or have a recess feature that effectively serves as a vestibule (far left). Such coverings should exhibit form that compliments overall building style.



Modern door framed by traditional Greek Revival elements.



Curved front portico reminiscent of Spanish Colonial style softens the angular form of this structure. Signage integrated into the design of the building entrance is encouraged as this one in which signage is located within a "signband" segment of the frieze.



Entryways that must accommodate larger volumes of pedestrian traffic must also be covered and integrated in overall building form. The colonnade (above) and arched portico (below) contribute to the goal of creating a human scale streetscape while complimenting and reinforcing the respective themes found in adjacent façade details.



With relatively smaller scale commercial structures, the folk vernacular “front porch” feature meets building entryway requirements and helps to bridge the gap between new development and Culpeper’s rural heritage and character.



## 4.10.2.Rooflines



- The shape and structure of roof form should reflect the desired character of place and demonstrate compatibility with its neighbors.
- Acceptable roofing materials include slate, terra cotta tiles, high grade galvanized or painted metal, copper, and “50 year architectural” asphalt shingles.
- Wooden shingles, lower grade asphalt or metal, and plastic composites are prohibited.
- Roof form should reflect and compliment the overall style of a given structure.
- Encouraged roof forms include, mansard, hipped, gambrel and simple gable with a generally steep pitch.
- Shed roofs and those with a low pitch are prohibited on stand alone structures. These forms however, may be acceptable when they are being used as embellishments, to cover entryways or to creatively break up contiguous rooflines.
- Flat roofs found on building forms that employ large square massings such as those found within ‘Bauhaus’ style are not in keeping with the historic architecture found within Culpeper.



Flat roofs are generally prohibited on stand-alone structures but are not prohibited on unified, contiguous commercial structures. They are both economical and allow for useable space for locating various types of mechanical equipment. Any equipment located on flat roofs must be shielded from public view. Shielding can be achieved through the use of an embellished cornice or parapet roof. This cornice or parapet must be of sufficient height and depth to create the appearance of a believable streetscape from the perspective of an approaching pedestrian. To achieve this, these treatments should not only be laterally variable with respect to changing storefronts but also have sufficient depth when viewed from an oblique angle. False roofs or cupola like structures should be used to break up these cornices. These false roofs should be used to create focal points and architectural terminals which serve as end points of the unified structure.

Roofs with various pitches on this stand alone office building effectively create visual interest.



This hip roof with false dormer windows effectively conceals a large flat roof from approaching pedestrians and helps create an appropriate composite style.



The cornice is the projected molding at the uppermost termination of the building façade. Early designers were particularly concerned with how a building met the sky and fancifully created cornices to crown their building designs. Cornices are one of the key design features of buildings. Examples 'a' and 'b' are from the Elmwood and Greenville houses (respectively); example 'c' is new commercial construction that has less detail but effectively achieves the desired architectural result.

## 4.10.2.1. Canopies



a



b



c

- Flat roof canopies are prohibited.
- Canopy support columns must be embellished in a fashion that is in keeping with overall building style (b).
- Fuel pump canopies must exhibit form in keeping with these guidelines, exceptions will not be made to accommodate franchise branding within the Entrance Corridor Overlay.
- Fuel pump canopy cornices shall be non-illuminated and restricted to one primary color. One internally lit sign contained within the façade of the cornice will be allowed (c).
- Lighting of fuel pump canopies shall be of the lowest level that will provide safe dispensing of fuel. All canopy lighting shall be flush-mounted, shielded, and downwardly directed, and shall not emit light above the horizontal plane of the cornice.
- Canopy related elements, including fuel dispensers, support columns, spandrels, planters, etc., shall be compatible with the character of the building and site and shall not be used for advertising.



- All canopies must reflect and be integrated within the overall building form.

### 4.10.3.Windows



- Windows should be used as a decorative design element that reflects and helps define the overall style of a structure or development.
- Windows should occupy no less than 15 % or more than 65% of the gross square footage of the façade.
- The architrave, or upper frame, of square windows should exhibit a clear form and have exposed formalized lintels and pediments accented with rows of soldier brick or quoins above.
- True divided light windows, Palladian, Bull's-eye and other decorative form windows are encouraged.
- Where shutters are architecturally appropriate they should be of sufficient width to be closeable.



- Windows used in repeating patterns can effectively serve as the defining embellishment on an otherwise plain building façade.
- Canopies should be employed over large storefront display windows that occupy the bulk of first story façades.
- Where modern unarticulated plain modular windows without grills are employed, surrounding facades must be embellished to compensate for lack of window detail.



## 4.11. Industrial Use Structures



Industrial sites should employ the use of a “frontage” building, thereby effectively shielding the corridor from storage yards and utility buildings with a structure that complies with architectural standards (above left). Extensive landscaping (above right), the use of berms and vegetative screening, combined with the siting of industrial uses beyond the five-hundred foot corridor width effectively reduces the negative visual impacts of industrial activity.



## 4.12.Exceptions

### 4.12.1.Franchise Form



Although franchise building forms that are in keeping with these guidelines (below) are generally required, exceptions on a case by case basis may be considered by the Architectural Review Board. Specifically, exceptions may be considered based on their adherence to a “vintage” form that can be identified with significant iconography generally associated with 21<sup>st</sup> century American popular culture (above).



## Exceptions continued

### 4.12.2.Sustainable Development

- It is possible and encouraged to adhere to architectural forms that pay respect to the traditional historic genres found within Culpeper while creating forms that pursue energy efficiency and principals of environmental sustainability. However, the merging of these two goals is sometimes at odds. Exceptions to various rules herein are therefore called for and appropriate.
- *Exceptions include but are not limited to:*
  - Roof Form...i.e. Solar panels may be more suited to flat roofs.
  - General Building Form
    - Facades may incorporate more glass surfaces when utilizing solar energy intake for heating and lighting.
    - Modular concrete panels may be used where called for to achieve structural integrity in alternate building forms.
  - Any structure may be considered that is being built using techniques found in new ICC “green code initiatives” or seeking “LEED” (Leadership in Energy and Environmental Design) certification.



Much of this structure (Packard Campus- National Audio Visual Conservation Center for the Library of Congress) is underground and demonstrates many of the aforementioned techniques.

## 5. APPENDIX A



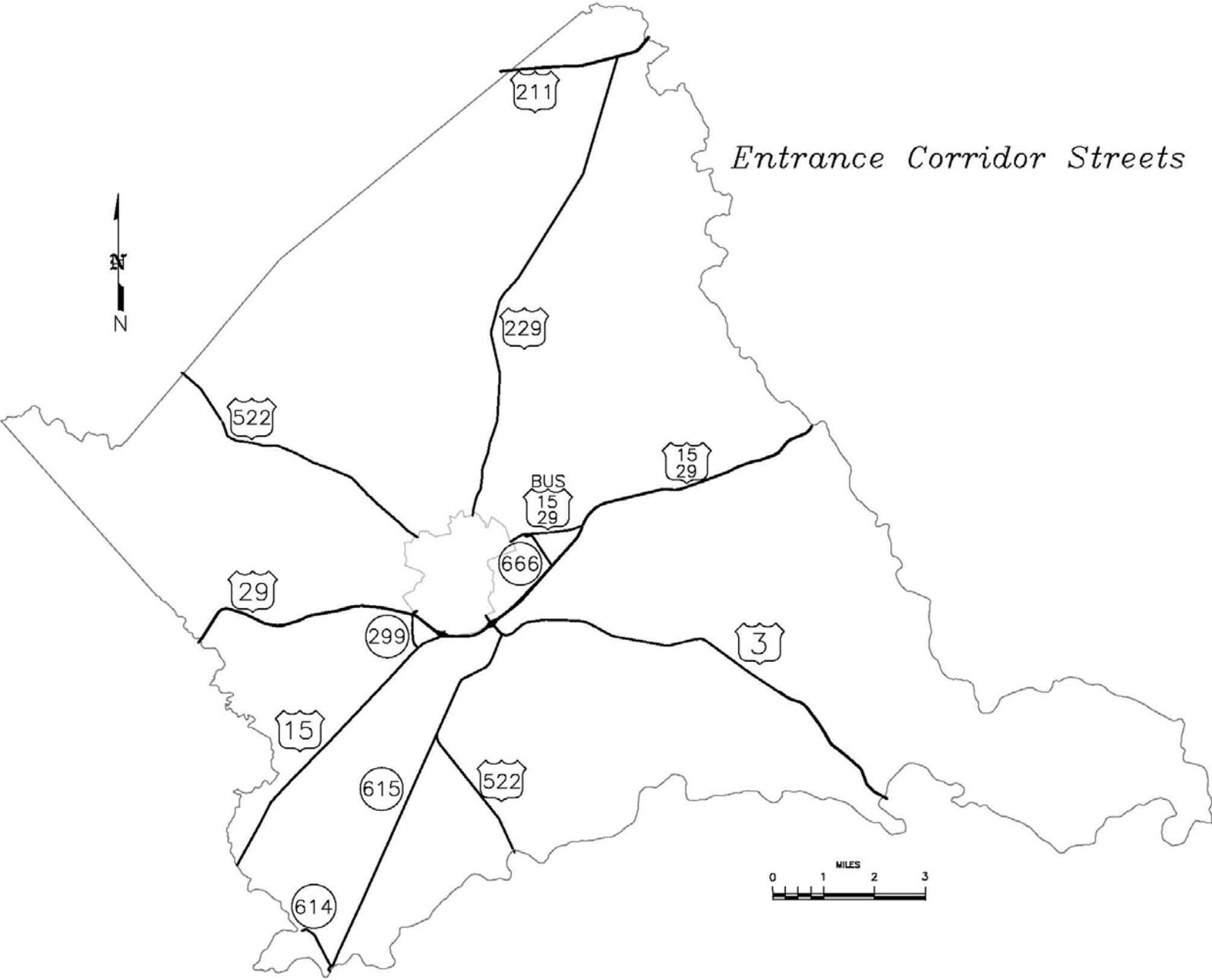
### 5.1. Entrance Corridor Overlay District {Zoning Ordinance 30-2- 4.1}

The overlay districts may be applied over any basic zoning district and/or other overlay district. EC overlay districts are hereby established:

*To the full depth of all parcels of land that are contiguous to the rights-of-way of the following EC streets in Culpeper County, or to a depth of five hundred (500) feet from the rights-of-way, whichever shall be greater, but in no case to exceed 1,500 feet, along the following EC streets in Culpeper County:*

1. U.S. Route 211
2. U.S. Route 15-29 Business (Town Corporate Limits to Route 15-29)
3. U.S. Route 522
4. U.S. Route 15
5. U.S. Route 29
6. U.S. Route 15-29
7. Virginia State Route 3
8. Virginia State Route 229
9. Virginia Route 299
10. Secondary Route 614 (Route 615 to Route 721)
11. Secondary Route 666 (Route 15-29 to Route 15-29 Business)
12. Secondary Route 615 (Orange County Line to Route 522)

5.2.MAP



## **6.APPENDIX B**

### **6.1.Preliminary Conference**

*The Preliminary Conference should be the first step in the site plan approval process.*

Information required for a **preliminary conference review**:

- **Tax Map and Parcel number.**
- **Color rendering of proposed buildings.**
- **Sketch Plan of intended site layout with respect to road centerline and existing topography.**
- **Generalized Landscaping plan with respect to adjacent property and proposed parking.**

*A Certificate of Appropriateness is required prior to final site plan approval.*

### **6.2.Application for Certificate of Appropriateness under ARB review**

- **Review Fee (\$250.00)**
- **Certificate of Appropriateness Worksheet**  
*(and) 12 copies of:*
- **A Preliminary Full Site Plan in strict accordance with Zoning Ordinance, *Appendix A, Articles 10, 11, 20, 32 and 33 that also addresses rules set forth under this document.***
- **Scaled , colored illustration or graphic representation of all building facades and signage.**
- **Photometric Plan and Light fixture specifications**
- **List of specifications and samples of all proposed exterior building materials.**
- **Architectural Inventory of significant historic structures in the area. (Photographs of adjacent building styles referenced by Tax Map number and 911 address).**

### **6.3.Application for Certificate of Appropriateness under Administrative Review**

- **Review Fee**
- **Minor Site Plan (where applicable).... Refer to Zoning Ordinance, Appendix A-Article 20-2-4, and 20-5-3**
- **Complete Zoning Application (for Signs)**
- **Color Rendition of project**
- **Materials list**

## **7.EXEMPTIONS**

**The provisions of Section 30-4-1 notwithstanding, no certificate of appropriateness shall be required for the following activities:**

- Interior alterations to a building or structure having no effect on exterior appearance of the building or structure.
- Construction of ramps and other modifications to serve the disabled.
- Main and accessory residential and agricultural buildings.
- General maintenance where no substantial change in design or material is proposed.
- An owner may repair and maintain a nonconforming structure or a structure occupied or used by a nonconforming use as provided in Article 12 of this ordinance.
- Site Plans or buildings that have been approved under combined phased or multi-unit site plans do not need to be revisited by the ARB provided the expiration date placed on the overall Certificate of Appropriateness has not expired. However, before such developments commence construction they must demonstrate to the Zoning Administrator compliance with the original overarching Certificate of Approval.
- Additions or modifications to a building where no substantial change in design or material is proposed as determined by the Zoning Administrator.